



RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT

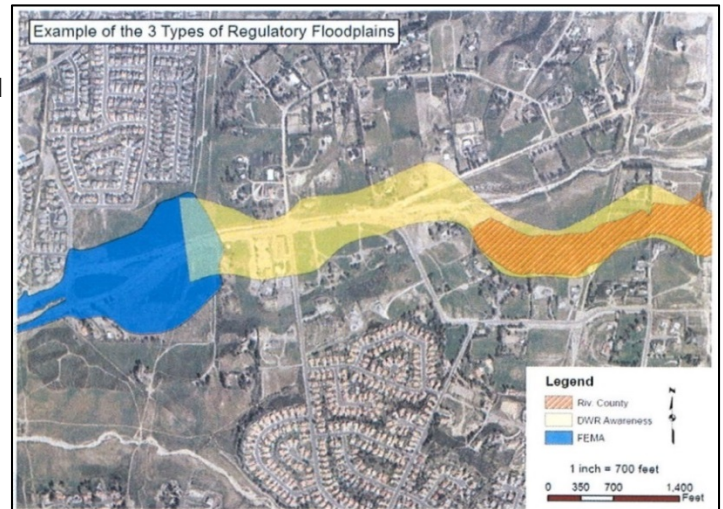
Separate Application for Floodplain Review

County Ordinance 458 regulates development/substantial improvements within a regulatory floodplain.

Examples of development:

- Home, mobile home, garage, or barn
- Room addition, replacement, attached deck, or block wall
- Enclosed Patio, Storage of equipment or materials
- Grading or paving
- Excavation/Filling/Drilling/mining/dredging
- Any man-made change to improved or unimproved real estate [fences included]

Any development or substantial improvement within a regulatory floodplain may require floodplain review. Call the Floodplain Management section at 951.955.1200 to verify your specific case.



Please note that building in a floodplain requires special studies, preparation, and review that result in additional protective measures that are typically more expensive than conventional construction.

Submittal Requirements for Newly/First Time Conditioned Parcels:

1. Floodplain Permit application form submitted to Building and Safety.
2. \$1,243.38 Plan Check Deposit payable at Building and Safety office. Applicant is entitled to a refund of any remaining funds once the Conditions of Approval have been met. Fees will be reduced to \$364.65 for attached decks, enclosed patio, or previously conditioned parcels.
3. Flood Plan prepared by a registered civil engineer submitted to Riverside County Flood Control District
 - a. Three sets of stamped, wet-signed plans
 - b. 1-foot contour interval [All elevations based on NAVD88 vertical datum] *indicate source of topo*
 - c. Worksite benchmark with Surveyor's notes
 - d. The finished floor elevation shall be at the Base Flood Elevation (BFE). The District recommends elevating the finished floor an additional 1' (AE Zone) to 2' (A Zone) above the BFE to significantly reduce the cost of flood insurance.
 - e. 2 profiles at right angles to each other and centered on the building site.
 - f. Permanent Foundation details (stemwall or pier option)
4. Once the Flood Plan is stamped Approved by Riverside County Flood Control District, Conditions of Approval will be given to the applicant & Building and Safety.
5. Multiple stages of inspections, FEMA Elevation Certificate in addition to the normal routine for permits, will be required before occupancy

Useful Links:

County Ordinance 458:	http://rivcocob.org/ords/400/458.13.pdf
Check your flood zone:	http://rcflood.org/FloodDetermination/FloodDetermination_V09.aspx
Frequently Asked Questions:	http://rcflood.org/FloodplainFAQ.aspx
FEMA Technical Bulletins:	http://www.fema.gov/plan/prevent/floodplain/techbul.shtm
Manufactured Home Guide:	http://www.fema.gov/media-library-data/20130726-1502-20490-8377/fema_p85.pdf